

Water Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>				
The applicant must install showerheads with a minimum rating of 3 star (>4.5 but <= 6 L/min) in all showers in the development.			✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.			✔	✔
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.			✔	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.			✔	
<b>Alternative water</b>				
Rainwater tank				
The applicant must install a rainwater tank of at least 1000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 90 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).			✔	✔
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"><li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li></ul>			✔	✔
<b>Thermal Comfort Commitments</b>		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>General features</b>				
The dwelling must not have more than 2 storeys.		✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.		✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✔	✔	✔
The dwelling must not contain third level habitable attic room.		✔	✔	✔
<b>Floor, walls and ceiling/roof</b>				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✔	✔	✔
Construction	Additional insulation required (R-Value)	Other specifications		
floor - concrete slab on ground	nil			
external wall - brick veneer	1.50 (or 1.60 including construction)			
internal wall shared with garage - plasterboard	nil			
ceiling and roof - flat ceiling / pitched roof	ceiling: 3.45 (up), roof: foil backed blanket (55 mm)	unventilated, medium (solar absorptance 0.475-0.70)		
Note - Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.				
Note - In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.				

Thermal Comfort Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.				✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.				✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:				✓	✓	✓
• For the following glass and frame types, the certifier check can be performed by visual inspection.				✓	✓	✓
- Aluminium single clear						
- Aluminium double (air) clear						
- TimberuPVC/fibreglass single clear						
- TimberuPVC/fibreglass double (air) clear						
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing	
North facing						
W BATH	600	500	aluminium, single, clear	eave 200 mm, 95 mm above head of window or glazed door	not overshadowed	
W LIVING	900	1400	aluminium, single, clear	eave 200 mm, 95 mm above head of window or glazed door	not overshadowed	
East facing						
W KITCHEN	900	1400	aluminium, single, clear	eave 200 mm, 500 mm above head of window or glazed door	not overshadowed	
South facing						
W PASSAGE	900	1400	aluminium, single, clear	eave 1400 mm, 55 mm above head of window or glazed door	not overshadowed	
W BED	900	1400	aluminium, single, clear	eave 2100 mm, 55 mm above head of window or glazed door	not overshadowed	
West facing						
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing	
W BED	900	1400	aluminium, single, clear	eave 200 mm, 500 mm above head of window or glazed door	not overshadowed	

Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>				
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.		✓	✓	✓
<b>Cooling system</b>				
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning: Energy rating: 2.5 star (average zone)		✓	✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning: Energy rating: 2.5 star (average zone)		✓	✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓	✓
<b>Heating system</b>				
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning: Energy rating: 2.5 star (average zone)		✓	✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning: Energy rating: 2.5 star (average zone)		✓	✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓	✓
<b>Ventilation</b>				
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off			✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off			✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off			✓	✓
<b>Artificial lighting</b>				
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:  - at least 1 of the bedrooms / study, dedicated			✓	✓

Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 2 of the living / dining rooms; dedicated			✓	✓
• the kitchen; dedicated			✓	✓
• all bathrooms/toilets; dedicated			✓	✓
• the laundry; dedicated			✓	✓
• all hallways; dedicated			✓	✓
<b>Natural lighting</b>				
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.		✓	✓	✓
<b>Other</b>				
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling			✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.			✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.			✓	
<b>Legend</b>				
In these commitments, "applicant" means the person carrying out the development.				
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).				
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.				
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.				



# BUILDING CERTIFICATE FOR SECONDARY DWELLING

No. 36 SMITH ROAD, YAGOONA, NSW 2199

ISSUE FOR DA

Site Details

36 Smith Road, Yagoona,  
DP: 10019  
Lot: 24  
Site Area: 828.30 sqm  
  
Zone R2  
( Low density Residential )  
  
Secondary Dwelling Area 45.90 sqm



SITE PLAN

SCALE 1 : 100

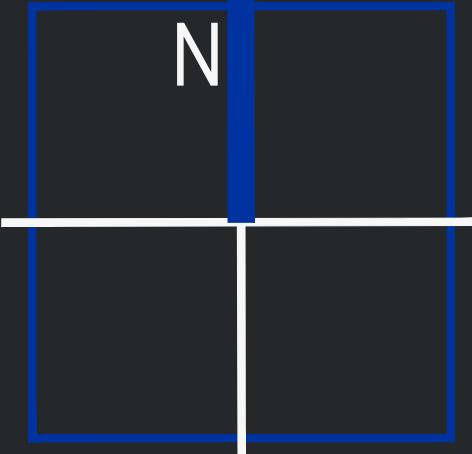


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- Only figured dimensions to be used.
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Issue	Amendment	Initials	Date
A	Issue to council for DA approval	J.V.O	28.11.22



Client  
Ibrahim Habib

Address:  
36 Smith Road,  
Yagoona. N.S.W

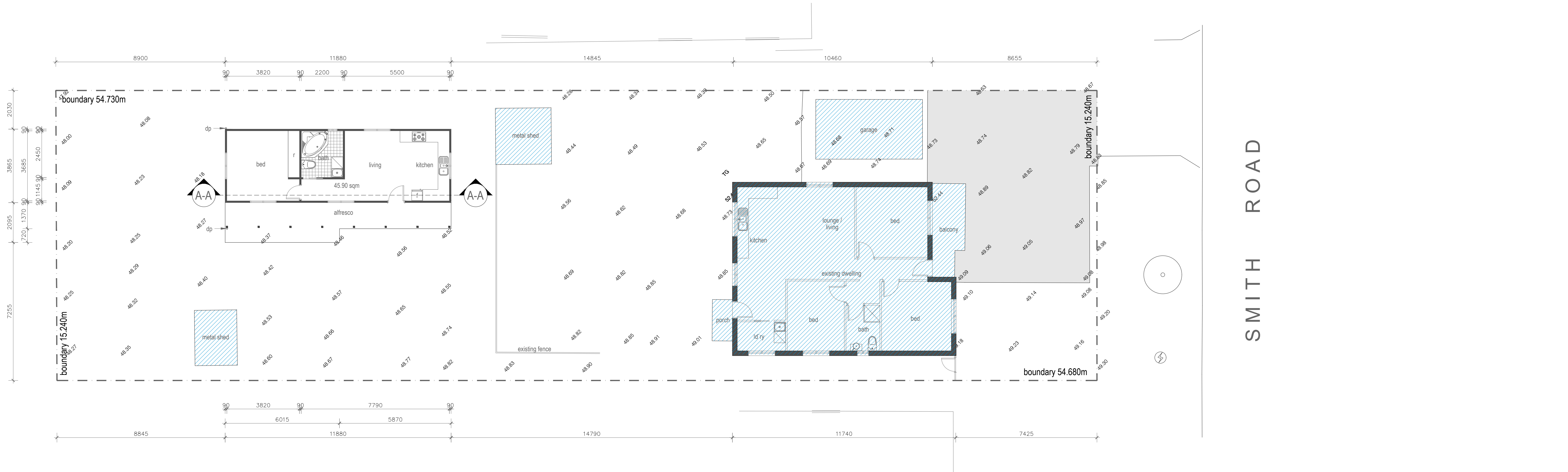
Project:  
BUILDING CERTIFICATE FOR UNAUTHORIZED CONSTRUCTION OF A SECONDARY DWELLING

Title  
SITE PLAN

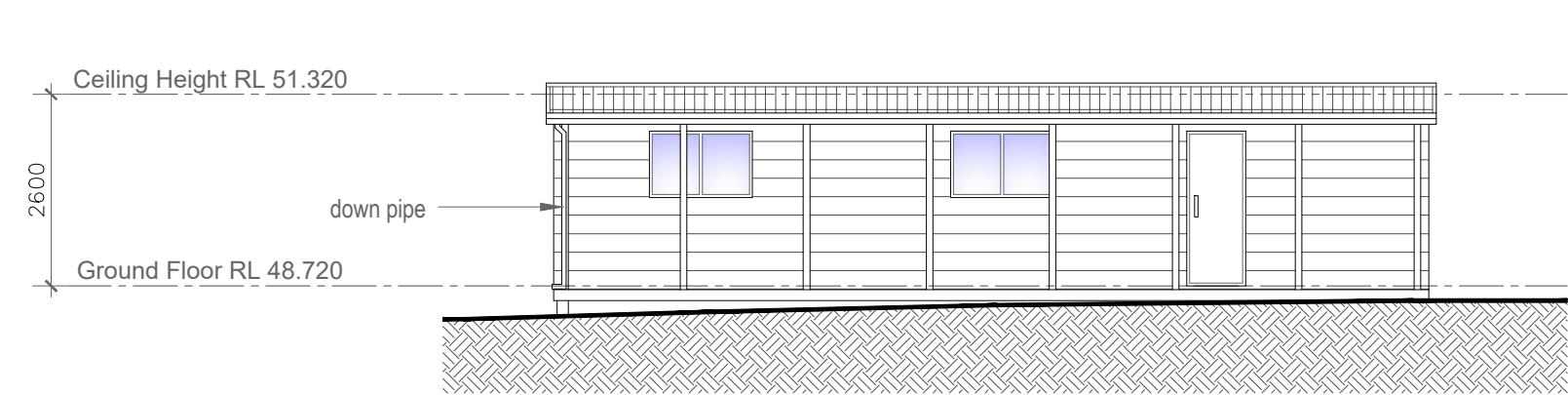
Project No  
22-115

Draw. No  
DA-01

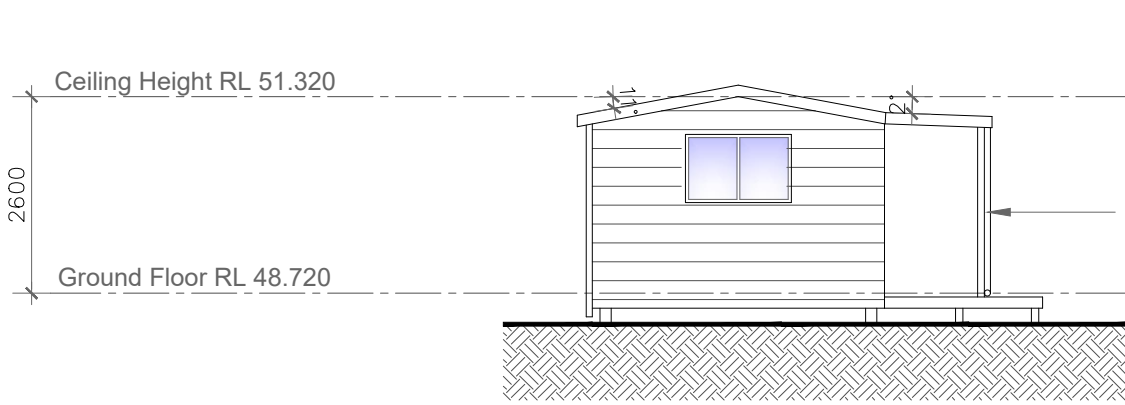
Drawn	Date	Project No
J.V.O	28-11-22	22-115
Checked	Scale	
D.B.	1:100	Draw. No
Sheet	of	Issue
01	02	A



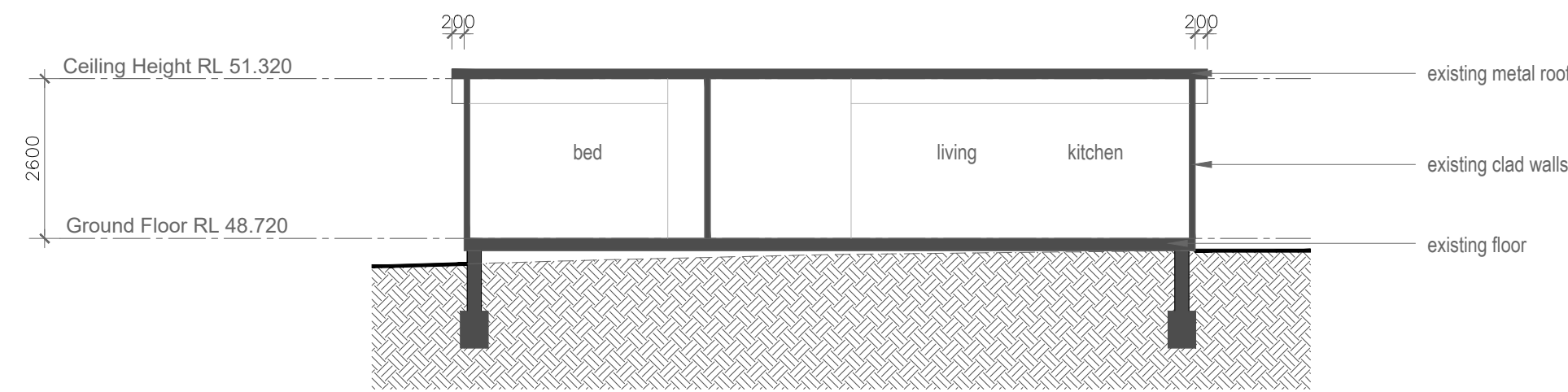
FLOOR PLAN  
SCALE 1 : 100



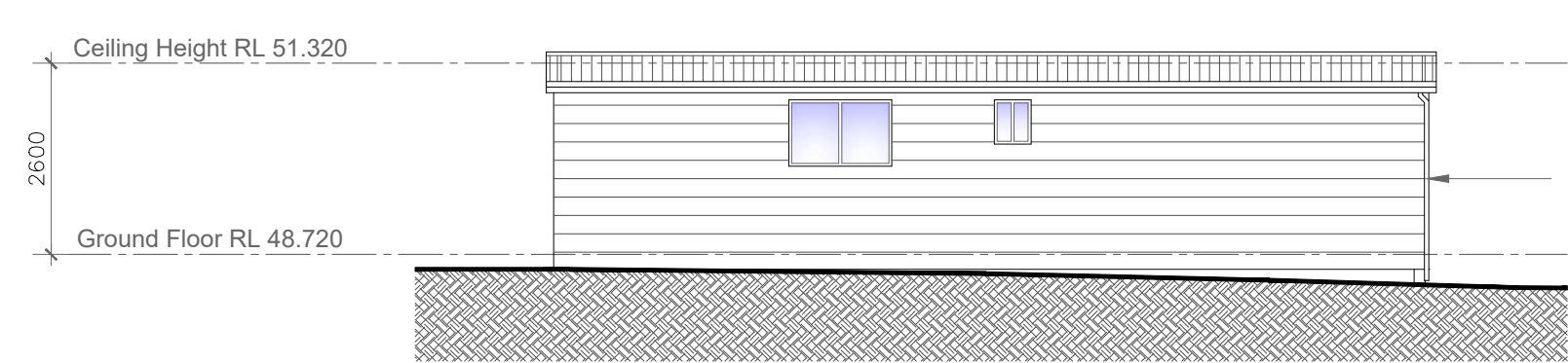
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SCALE 1 : 100



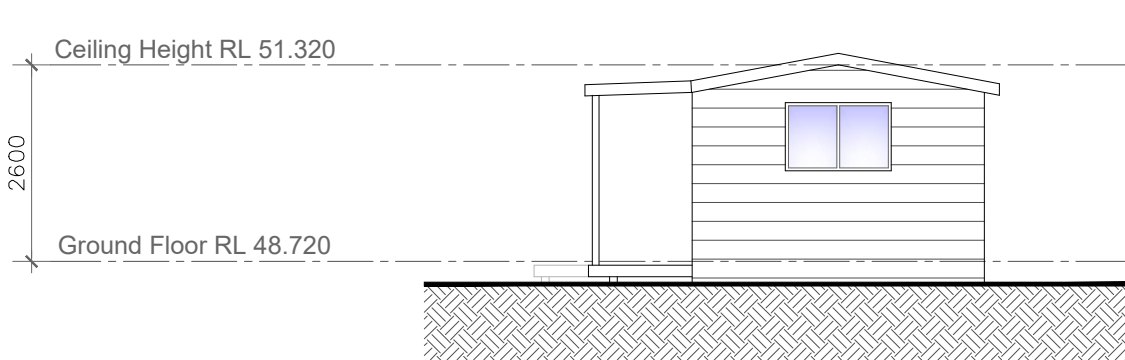
WEST ELEVATION  
SCALE 1 : 100



SECTION A-A  
SCALE 1 : 100



NORTH ELEVATION  
SCALE 1 : 100



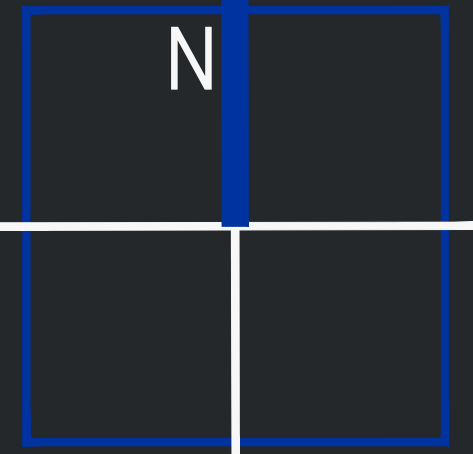
EAST ELEVATION  
SCALE 1 : 100



**bdaa**  
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A	Issue to council for DA approval	J.V.O	28.11.22



Client:  
**Ibrahim Habib**

Address:  
**36 Smith Road,  
Yagoona. N.S.W**

Project:  
**BUILDING CERTIFICATE FOR UNAUTHORIZED CONSTRUCTION OF A SECONDARY DWELLING**

Title:  
**FLOOR PLAN / SECTION / ELEVATIONS**

Drawn J.V.O	Date 28-11-22	Project No <b>22-115</b>
Checked D.B.	Scale 1:100	Draw. No.
Sheet of 02	Issue 02	<b>DA-02</b>